



American Inspections, Inc.
403 Stonehaven Lane NE
Cedar Rapids, IA 52402

Professional Home Inspection Report



SAMPLE INSPECTION REPORT
AMERICAN INSPECTIONS INC.
Cedar Rapids, Iowa City & Surrounding Areas
Call 319-377-9298

Priority Item Summary

General Information

- "Priority Item" Information:** Items that have a greater need for immediate attention than the more general maintenance/improvement recommendations provided within this report. Priority items include: Major Deficiencies, Major Safety Issues, and some maintenance items that if left unattended may deteriorate the condition of the property prior to the client taking possession. In the case of new construction, some maintenance items may be listed as priority items to bring them to the contractor's attention. The priority listed items are based on the inspector's judgement at the time of the inspection. The client should read the entire inspection report to determine if other items should be treated as priority items.

Grounds (Decks, Driveway, Sidewalk, Grading, etc.)

- Deck:** Treated wood Decay was noted at 6 of the deck's floor joists and rated defective at these joists. Recommend repair/replace damaged floor joists to provide proper support. Installation of sister joists along side of the decayed floor joists is one option of repair.
(See the included picture of one of the deck's damaged floor joist)



Exterior (Foundation, Siding, Trim, etc.)

- Exterior Exterior Siding Type:** Vinyl 4 pieces of loose vinyl siding were noted at the South side of the dwelling. Recommend properly secure/repair loose siding for weather protection and to prevent siding damage with high winds. The balance of the siding appeared to be in functional condition.
(See the included picture of a loose piece of siding at the South eve area)



Roofing (Roof surfaces, Flashing, Gutters, etc.)

- Dwelling Roof Surface Material:** Composition Shingles 8 damaged shingles were noted at the dwelling's South roof surface. This may have been due to wind damage. These damaged shingles were rated defective. Recommend replace damaged shingles for weather protection. The balance of the dwelling's shingles appeared to be in functional condition.
(See the included picture of three of the damaged shingles)



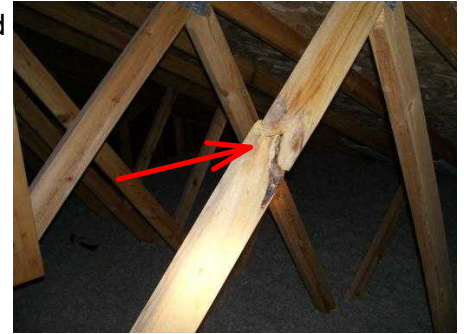
Priority Item Summary (Continued)

Attic (Roof Structure, Ventilation, Insulation, etc.)

5. **Dwelling Attic Visible Roof Structure:** Truss A cracked truss was noted at the SW area of the attic and this truss was rated defective. Recommend a professional truss repair contractor make repairs to insure proper roof structure support. Trusses are part of an engineered roof structure system.

The balance of the visible truss roofing system appeared to be in functional condition.

(See the included picture of the cracked truss)



Bathrooms

6. **Master Bathroom Toilet:** The toilet did not flush properly as if plugged/blocked and rated defective. Recommend a plumber inspect and make adjustments to provide a fully operational toilet.

(See the included picture of the non operational toilet within the master bathroom)



Appliances

7. **Disposal:** Casing rust & leakage was noted at the garbage disposal at the time of the inspection and rated defective. Recommend replace the garbage disposal to provide an operational unit and to prevent water damage to the kitchen cabinet.

(See the included picture of the defective garbage disposal)



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SAMPLE INSPECTION REPORT

General Information



PROPERTY INFORMATION

Property Address SAMPLE INSPECTION REPORT
City Cedar Rapids, Iowa City, and Area
State IA **Zip** 52410

CLIENT INFORMATION

Client Name Sample Buyer
Client Address Out of Town Ave.
City Sample City **State** Sample **Zip** 10000
Phone 100-000-0000 **Fax** N/A
E-Mail sample buyer@aol.com

GENERAL INFORMATION

Est. Building Age 17 years **Entrance Faces** West
Building Type Ranch
Inspection Date 0/00/0000
Inspection Time 1:00 PM
Temperature 80 oF **Weather** Recent Rain
Others Present Buyer, Buyer's Agent **Dwelling Status:** Occupied

INSPECTION COMPANY

Inspector Name Steve Kolar, Andy Kolar
Company Name American Inspections, Inc.
Company Address 403 Stonehaven Lane NE
City Cedar Rapids **State** IA **Zip** 52402
Phone 319-377-9298 **Fax** 319-373-1627
E-Mail AmericanInspections@gmail.com
File Number 1,000,000

Priority Item "Priority Item" Information:

Items that have a greater need for immediate attention than the more general maintenance/improvement recommendations provided within this report. Priority items include: Major Deficiencies, Major Safety Issues, and some maintenance items that if left unattended may deteriorate the condition of the property prior to the client taking possession. In the case of new construction, some maintenance items may be listed as priority items to bring them to the contractor's attention. The priority listed items are based on the inspector's judgement at the time of the inspection. The client should read the entire inspection report to determine if other items should be treated as priority items.

Rating Definitions

The ratings in this report are strictly the opinion of the inspector and not based on manufacturer's claims of minimum standards, building codes or ordinances, or adequacy of design. The estimated age of the dwelling / mechanical equipment / roofing/ etc. are based upon the best information available and should not be considered exact or unconditional.

Priority Item	Items that have a greater need for immediate attention than the more general maintenance/improvement recommendations provided within this report. Priority items include: Major Deficiencies, Major Safety Issues, and some maintenance items that if left unattended may deteriorate the condition of the property prior to the client taking possession. In the case of new construction, some maintenance items may be listed as priority items to bring them to the contractor's attention. The priority listed items are based on the inspector's judgement at the time of the inspection. The client should read the entire inspection report to determine if other items should be treated as priority items.
Defective	Not performing in the manner intended. In the case of mechanical or electrical systems/components, items not operating, or high probability of failure or of causing substantial problems or unsafe conditions. In the case of roofing and plumbing components, deficiencies observed indicating leakage or probable leakage. In the case of structural components, significant defects observed with a high probability of structural problems occurring. Immediate repair or replacement is recommended on systems/components rated defective.
Marginal	Performing, but with significantly reduced performance, and or signs / indications of substantial wear, and or signs of possible failure, and or unacceptable effect on other components. Repair or replacement is recommended in the near future & closely monitor.
Functional	Performing in the manner intended at the time of the inspection, modified by age and conditions within reason. Some systems/components may be rated functional and still have certain deficiencies or problem areas that require your attention, thus additional comments will be provided in regards to these items.
Not Applicable	The item is not present for inspection or not fully visible due to limited access or obstructions.
Comment	A statement rather than a rating is used when a specific rating may not be appropriate or additional explanation/clarification is needed.

Grounds (Decks, Driveway, Sidewalk, Grading, etc.)

This inspection is not intended to address soil conditions, geological conditions, or site stability. Any reference to grade is limited to the area adjacent to the dwelling's exterior foundation walls. This inspection does not attempt to determine drainage performance of the entire lot, neighboring lots, or the subdivision.

When decks and porches are constructed close to the ground, a limited or no view of the under structure is visible for inspection. Comments are then based on visible structure from an exterior viewpoint. Stacked firewood, vegetation, finish materials, storage, etc. also limit the inspection of the decks, porches, patios and their condition.

Outbuildings, fences, trees, landscaping, playground equipment, storage sheds, plantings, lawn condition, and retaining walls constructed away from the dwelling are not inspected.

1. Comment **General Information:**
Directional comments within this report are based on the front of the dwelling facing West as a general directional reference point only.
2. Functional **Landing:** Concrete
A typical crack was noted at the front concrete landing. Recommend maintenance caulk/seal cracks to divert drainage water from these areas to help prevent further cracking/wear.
3. Functional **Stairways:** Concrete
4. Functional **Railings:**
5. Functional **Patio:** Concrete
The concrete patio had a typical crack but overall was in good condition. Recommend maintenance caulk/seal cracks to help divert drainage water and prevent further cracking.
6. Functional **Porch:** Wood
There was limited access to the under structure of the rear screen porch. Comments and ratings are based on an exterior viewpoint. No major visible problems were noted.
7. Priority Item, Defective **Deck:** Treated wood
Decay was noted at 6 of the deck's floor joists and rated defective at these joists. Recommend repair/replace damaged floor joists to provide proper support. Installation of sister joists along side of the decayed floor joists is one option of repair.
(See the included picture of one of the deck's damaged floor joist)
8. Functional **Retaining Walls:**
The retaining wall was constructed of concrete block.
9. Functional **Driveway:** Blacktop
The blacktop driveway was in functional condition. Recommend maintenance seal the driveway with a blacktop sealant annually to help maintain and extend it's productive life.
10. Functional **Sidewalk:** Concrete
11. Functional **Trees / Bushes:**
Recommend maintenance trim bushes/plantings/trees back from the dwelling to prevent contact with the siding, trim, roofing, and roof drainage systems. Plantings provide convenient access routes for insects and can create damp conditions conducive to insect activity and decay.
12. Functional **Grading:**
Most dwellings have some landscape / fill dirt needs due to soil settlement at the base of the foundation walls. Standard recommendations are to make adjustments along the foundation walls at low and flat areas to insure drainage water is channeled out and away from the dwelling. A gradual slope of 1 inch per foot for the first 6 feet is recommended to provide an ideal grade adjacent to the foundation walls. Soil should not be placed in contact with the siding or untreated wooden components.



Exterior (Foundation, Siding, Trim, etc.)

Only a small portion of the exterior foundation walls is visible for inspection as most of the foundation wall area is underground. Comments are based on the visible structure. Siding, plantings, decks, porches, additions, snow cover etc. also limit the exterior foundation wall inspection. See interior foundation wall comments within the Structure Section of this report for additional comments. Small and or hairline cracks are not uncommon within foundation walls and in most cases do not represent major structural problems. Suggest seal foundation wall cracks to help prevent water penetration and crack expansion. Recommend monitor foundation walls for changes in crack size/offsets/movement.

Siding and non treated wooden components should be kept 2" or more above grade to help prevent soil contact/decay/insect access/damage.

The upper level windows and trim are not accessible for probing or a close up inspection. Comments are based on visible and accessible surfaces from ground level. Many times hidden decay is not visible due to the paint cover or the decay lying just beneath the wooden surface. If decay is discovered while scraping surfaces in preparation for painting, recommend repair/replace the decayed components.

1. Functional **Visible Exterior Foundation Walls:** Poured Concrete
Soil, siding, and the rear deck prevented a clear view of some areas of the exterior foundation walls. Comments/ratings are based upon visible structure. Some typical small and or hairline cracks were noted at the exterior foundation walls which is common. No major offsets were visible.

2. Functional **Basement Windows:**
The egress style basement window well was deep. Installation of some protection around deep basement window wells is suggested for the added safety of young children.

Exterior Exterior Siding

3. Priority Item, Defective **Type:** Vinyl
4 pieces of loose vinyl siding were noted at the South side of the dwelling. Recommend properly secure/repair loose siding for weather protection and to prevent siding damage with high winds. The balance of the siding appeared to be in functional condition. (See the included picture of a loose piece of siding at the South eve area)



4. Functional **Trim:**
The dwelling's soffit and fascia trim were covered with a lower maintenance material.

5. Functional **Exterior Doors / Trim:**

6. Functional **Exterior Windows / Trim:**

7. Functional **Storm Windows:**

8. Functional **Visible Side Wall Flue:**

The furnace and water heater flue pipes were PVC/plastic piping. Plastic piping is installed with higher efficiency units. Consider maintenance installation of 1/4" mesh screening at the exterior plastic side wall vent positions to help keep foreign objects/pests/etc. out.

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Garage

Garage comments will include: the foundation, the floor, walls, ceiling, the adjoining door into the dwelling and the overhead garage door opener if in place. Other garage components will be addressed within their respective areas of the report unless specifically listed within the Garage Section. The overhead garage door opener is operated with the wall mounted control button, not the hand held remote. Recommend check if all remote controls are on hand and operational. Flammable material should not be stored within the garage if at all possible for added fire safety.

1. Type of Structure: Attached Car Spaces: 2

2. Functional **Garage:**

Portions of the garage were not visible due to storage and a parked car. Comments based on limited visible surfaces. Recommend inspect when clear of storage.

(Included is a picture of the garage and stored items limiting the view for inspection)



3. Functional **Foundation:** Poured Concrete

Some typical small and or hairline cracks were noted at the garage's foundation walls. No major offsets were visible.

4. Functional **Walls / Ceilings:**

The garage ceiling and walls were sheetrock. The garage ceiling showed some typical sheetrock seam cracks. These cracks may be caused by the expansion and contraction of the sheetrock seams with temperature changes in the opening/closing of the overhead garage door during the winter months.

5. Functional **Garage Windows:**

Recommend maintenance scrape/paint the exterior garage window frame/trim for weather protection and seal the interior of the garage windows to help prevent warping and decay.

6. Functional **Floor:**

Some typical concrete garage floor cracks were noted. No major cracking or offsets were noted.

7. Functional **Garage Door Opener:**

The automatic garage door opener unit did not stop/reverse when reasonable resistance was applied while closing. Recommend maintenance adjust the downward pressure sensitivity setting to see if this condition is easily corrected for added child safety.

8. Functional **Overhead Door(s):**

9. Functional **Adjoining Door into Dwelling:**

10. Functional **Exterior Entry Door:**

A little trim decay was noted at the base of the garage passage door. Recommend maintenance replace decayed trim to help prevent additional decay and for weather protection.

Roofing (Roof surfaces, Flashing, Gutters, etc.)

Roof surface ratings are based on the condition of the visible roof covering at the time of the inspection. The roof surface condition will continue to change with time. If the roof covering is rated functional, this does not mean the roof will remain totally free of deficiencies and that no leakage is possible. The only way to determine whether a roof is water tight is to inspect it during a prolonged rain. In most cases it is not raining during the home inspection and all areas of the attic are not typically accessible or visible for inspection. Therefore we can not inconclusively guarantee the roof to be free of leakage. Stored items within the attic also limit the roofing inspection.

A roof leak does not necessarily mean the roof covering needs to be replaced. In many cases repairs can be completed to correct leakage and extend the productive life of the roofing. Roofing surfaces are most susceptible to leakage at roof penetrations, flashing junctions, valleys, damaged and advanced wear areas. If leakage is discovered, recommend contact a professional roofing contractor immediately to repair the leakage. Failure to correct leakage can cause damage both at the attic area and within the dwelling. Poor attic ventilation and or improper attic ventilation can also cause condensation problems and ice damming/leakage.

Premature roof covering wear can develop due to various factors. Improper installation, lack of ventilation, and manufacturer deficiencies have been known to reduce shingle life by as much as 50%. Shingles can be in functional condition at the time of the inspection and develop substantial wear and deterioration within a 6-12 month period of time. Roof coverings should be monitored and fully inspected at least annually.

Dwelling Roof Surface

1. Method of Inspection

The roof covering was inspected from various areas of the roof surface. Comments are based on visible surfaces.

2. Approximate Age:

7 years

3. Priority Item, Defective Material:

Composition Shingles

8 damaged shingles were noted at the dwelling's South roof surface. This may have been due to wind damage. These damaged shingles were rated defective. Recommend replace damaged shingles for weather protection. The balance of the dwelling's shingles appeared to be in functional condition.

(See the included picture of three of the damaged shingles)



4. Functional

Flashing:

5. Marginal

Gutters:

The SW gutter was full of leaves, not draining properly, and rated marginal. Recommend maintenance clean the gutters and downspouts and monitor to insure proper water drainage.

6. Functional

Downspouts:

Downspout extensions should be maintained to properly channel drainage water away from the foundation walls to help prevent basement ground water penetration.

7. Functional

Roof Penetrations:

Chimney / Flue Pipe(s), Plumbing Vent Stack(s)

Caulking around the exterior roof penetrations to shingle junction is suggested as a preventative maintenance measure for added weather protection.

8. Functional

Visible Exterior Chimney:

The fireplace's metal chimney flue appeared to be in functional condition as viewed from the attic area.

9. Functional

Skylights:

Attic (Roof Structure, Ventilation, Insulation, etc.)

Attic ventilation needs vary with construction type, ventilation type, vent placement, and internal/external conditions. Recommend inspect the attic at least annually to insure there is adequate ventilation to prevent excessive heat buildup in the summer and condensation/moisture problems in the winter. With proper attic ventilation, attic temperatures can typically be limited to no more than 10-20 oF above the exterior/outside temperature during the summer months.

The level of insulation in the dwelling's side wall is not visible for inspection. No assurance can be given that the side wall insulation is properly installed or that it is present in all spaces. Older dwelling's constructed before 1950 may not have had any side wall insulation installed at the time of construction.

Wind driven rain/snow, ice, and snow build up can create moisture/leakage at roof surface penetrations and attic vents. Recommend monitor and make adjustments if water leakage is noted.

Recommend roof structure problems or other areas of concern be inspected by a structural engineer, professional building contractor, or specialist in that field for further analysis.

Dwelling Attic

1. Priority Item, Defective Visible Roof Structure:

Truss

A cracked truss was noted at the SW area of the attic and this truss was rated defective. Recommend a professional truss repair contractor make repairs to insure proper roof structure support. Trusses are part of an engineered roof structure system.

The balance of the visible truss roofing system appeared to be in functional condition.

(See the included picture of the cracked truss)



2. Functional

Visible Roof Sheathing:

OSB/Waferboard

3. Functional

Attic Ventilation:

Ridge, Soffit

The dwelling's attic ventilation appeared to be functional. Year round attic ventilation providing 1 sq. ft. of balanced attic ventilation per 250 sq. ft. of attic floor area is recommended to help maximize shingle life, to help prevent condensation, and to maintain sheathing board condition.

4. Functional

Power Vent Fan:

5. Functional

Whole House Fan:

6. Functional

Attic Insulation:

Blown in fiberglass

There was approximately 12" of insulation (R-38) at the dwelling's attic area and approximately 8" of insulation (R- 26) at the garage attic area.

7. Functional

Visible Ceiling Joists:

Truss Bottom Chord

8. Functional

Visible Attic Chimney:

Metal

The metal chimney flue as viewed at the attic area was in good condition.

9. Functional

Evidence of Attic Water Penetration:

No major visible signs of ongoing/chronic leakage were noted at the readily accessible areas of the attic at the time of the inspection. Recommend ask the owners if they have had any past or present leakage and inspect the roof surface and attic area at least twice a year for signs of any moisture/leakage. Proper knowledge and care should be taken in accessing the roof surface and attic area.

Structure (Foundation, Flooring Support, etc.)

Foundation walls and the flooring support that are covered by finish materials, insulation, stored items, etc. are not visible and not inspected. When rated, the rating is based only on the visible structure. Small and or hairline cracks are not uncommon within foundation walls and in most cases do not represent major structural problems. Suggest seal foundation wall cracks to help prevent ground water penetration and crack expansion. Recommend monitor foundation walls and concrete floors for changes in crack size/offsets/movement. See additional foundation wall comments within the Exterior/ Foundation Wall Section of this report. Concrete floors/slabs may also develop small cracks during the drying process due to shrinkage and not present a structural problem. Recommend monitor all cracks.

Most basements and crawl spaces have some potential for water penetration with heavy rains. It is not possible to guarantee there will be no basement or crawl space ground water penetration. If ground water seepage is noted at foundation walls/cracks/seams/etc., recommend insure the gutters are clear & downspouts/extensions are in place, and the landscape/grading is properly sloped to channel drainage water away from the dwelling. Professionally sealing wall and floor cracks and or installing a professional water proofing system may be options if above ground adjustments are not successful in controlling basement/crawl space ground water penetration. Seepage can also occur at floor cracks if water builds up under the basement floor/concrete slab.

If ground water leakage problems are identified, recommend make adjustments to correct this condition. Removal of finished materials may uncover decay and mold/mildew/fungi. If these conditions are discovered, recommend a professional in this field inspect and advise.

Termite damage may not always be visible when inspecting the wooden component's surface as the damage in many cases can be hidden within the wooden component.

Recommend foundation wall problems, floor structure problems, or other areas of concern be inspected by a structural engineer, professional building contractor, or a specialist within that field for further analysis, recommendations, & estimates of repair.

1. Functional	Visible Interior Foundation Walls:	Poured Concrete
	Estimate % Visible:	70%
	Approximately 30% of the basement foundation walls were covered by finish materials and were not visible for inspection. Evaluation based on visible structure. Some typical small/hairline foundation wall cracks were visible which is common. No major visible shifting/offsets were noted.	

2. Functional	Visible Basement Floor:	Concrete
	Estimate % Visible:	70%

3. Functional	Visible Beam Support:	Girder Beam
	Estimate % Visible:	70%
	The floor structure support was steel I beam support.	

4. Functional	Visible Support Posts:	Steel
	Estimate % Visible:	70%

5. Functional	Visible Floor Joists:	I-Joist
	Estimate % Visible:	70%
	The visible floor joists were the manufactured wooden laminated I joist type. (Included is a picture of the engineered floor structure system for reference purposes.)	



6. Functional	Visible Sub Floor:	OSB/Waferboard
	Estimate % Visible:	70%

7. Comment	Visible Side Wall Structure:	
	Estimate % Visible:	0%
	The dwelling's side wall framing is covered with siding and finish materials at both the exterior and interior and was not visible for inspection. The side wall framing is typically wooden stud wall construction.	

8. Functional	Visible Sill:	
	The visible basement sill box was insulated for added energy efficiency.	

Structure (Foundation, Flooring Support, etc.) (Continued)

9. Comment

Obstructions:

Storage, insulation, finished walls, finished ceilings, and floor coverings in the basement limited the inspection of the interior foundation walls/ceiling/floor area. Comments are based on visible surfaces.

10. Comment

Basement Water Penetration:

No signs of major/chronic/ongoing ground water penetration were noted at the basement area at the time of the inspection. Maintenance cleaning gutters, extending downspouts, and providing proper exterior grade and slope is recommended to help reduce the risk of basement water penetration. See exterior grade comments (Grounds section).

11. Functional

Sump Pit / Pump:

The sump pump responded to raising the float. Recommend maintenance test the sump pump monthly to insure it remains fully operational.

(Included is a picture of the sump pit and pump for reference purposes)



Heating System

Heat exchangers within most furnaces are not accessible by design and therefore are not inspected. In order to fully inspect a heat exchanger, the unit would need to be removed from the furnace casing which is beyond the scope of the inspection. Recommend install UL listed carbon monoxide detectors within the dwelling for additional carbon monoxide gas protection. Pilot lights that are out are not lit during the inspection due to the liability of lighting a pilot light that have been shut off by the owner or a furnace contractor for a reason. The power/shut off switch is not operated to insure the switch is not unintentionally left in the off position. To obtain maximum efficiency and reliability from your heating system, we recommend annual servicing and inspection by a qualified heating contractor. Professional cleaning/servicing of the furnace can reveal hidden deficiencies. Electronic igniters, electronic ignition systems, inducer fans, blowers, motors, pressure switches, thermostats, and other system components can work today and fail tomorrow without warning. The typical life expectancy of a gas forced air furnace is 20 - 25 years but can vary substantially between the make, model, maintenance, and conditions. Whether a furnace is properly sized or if air distribution is adequate to all areas of the dwelling is beyond the scope of the inspection. Recommend heating system problems and concerns be inspected by a professional heating/cooling contractor for further analysis and estimates of repair.

The gas shut off valve servicing the furnace is located at the gas line within 6 ft. of the furnace unless otherwise noted within this report and also at the exterior gas meter within a natural gas line supply system.

Determining if there are any discontinued/buried fuel tanks on the property is beyond the scope of this inspection. Leaky fuel tanks represent an environmental hazard and the tank and contaminated soil should be removed.

Basement Forced Air Furnace

1. **Manufacturer:** Ruud **Approximate Age:** 17 years
2. **Fuel Type:** Natural gas **Area Served:** Dwelling

3. **Functional** **Forced Hot Air Furnace:**

The furnace was operational at the time of the inspection. To maintain its efficiency and extend the life of the heating system/components, suggest clean/service/inspect annually.

4. **Functional** **Thermostat(s):**

5. **Functional** **Filter:**

Recommend maintenance replace the furnace filter monthly.

(Included is a picture of the furnace with the upper service panel cover removed for inspection & the filter access position is marked for reference purposes.)



6. **Functional** **Visible Duct Work:**

7. **Functional** **Humidifier:**

8. **Comment** **Combustion:**

The view of the combustion chamber was very limited and is not formally inspected. Test equipment was used to check for carbon monoxide gases at a primary hot air supply register. No carbon monoxide gas was detected at this supply line when the furnace was in operation. This is a general non intrusive test and does not guarantee the heat exchanger to be free of deficiencies nor does it guarantee the dwelling to be free of all potential carbon monoxide gas sources/problems.

9. **Functional** **Blower & Motor:**

10. **Functional** **Visible Gas Burner:**

No major visible burner unit problems were noted at the time of the inspection.

11. **Functional** **Visible Gas Line:**

12. **Functional** **Visible Chimney / Flue Pipe:** PVC

The furnace flue pipe was PVC/plastic piping. Plastic piping vented out the dwelling's side wall is installed with higher efficiency furnace units.

13. **Comment** **Service Shutoff Switch:**

A power shut off switch was in place to service the furnace.

Fireplace / Wood Stove

Wood burning fireplace & wood burning stove chimney liners are not fully visible for inspection and therefore not inspected. Fireplaces should have properly sized metal chimney liners in place for safety. Some older/smaller wood burning fireplace units may not be able to be updated/adjusted to meet modern safety standards and their use should be discontinued for safety. Inspection for proper sizing of the firebox and chimney flue is beyond the scope of the inspection. The firebox and chimney should be cleaned & inspected by a professional chimney sweep at least annually to make sure the fireplace is safe and there are no deficiencies creating a fire hazard. Large and or extremely hot fires can overheat the firebox and the chimney flue creating damage that may result in a fire hazard. Recommend control the fire size.

1st Floor Living Room Fireplace

1. Functional **Fireplace Unit:** Gas Burning Log
The fireplace was a glass enclosed gas burning log unit. The burner unit responded to the start up control. Installation of a fireplace blower unit may be an option for added heating efficiency.
2. Functional **Hearth:**

Air Conditioning

The typical life expectancy of a conventional central air-conditioning unit is approximately 15 years but will vary substantially with make/model, use, maintenance, and conditions. Air conditioners and components can be operational today and fail tomorrow without warning. Whether the air conditioner is properly sized or if air distribution is adequate throughout the dwelling are beyond the scope of the inspection. Pressure tests on coolant systems are not completed and therefore no representation is made regarding the coolant charge or refrigerant line leakage. Cooling systems are not dismantled and exterior A/C access covers are not removed. The interior components of evaporators, condensers, and heat pumps are not visible for inspection and therefore not inspected.

A functional rating for the A/C refrigerant lines, power disconnect switch, and the condensate line indicates these items are in place. Specialized testing is not completed on these components. Recommend monitor that A/C condensate drainage line to insure this line drains properly. Window mounted air conditioning units are not inspected.

Recommend air conditioner problems and other concerns be inspected by an air conditioning contractor for further analysis and estimates of repair.

Exterior SE AC System

1. **Manufacturer:** Lennox
2. **Approximate Age:** 5 years **Area Served:** Entire dwelling
3. Functional **Central Air Conditioning (Electric / Forced Air):**

The central air conditioning system was operational at the time of the inspection. The air temperature at a cold air supply line tested approximately 50 degrees F. when the A/C was in operation. A temperature drop over the evaporator coil of 20 degrees F. was noted. The A/C was operating within general acceptable temperature drop guidelines for its age and years in service.

(Included is a picture of the exterior A/C unit for reference purposes)



4. Functional **Exterior Compressor / Condensing Unit:**
5. Functional **Refrigerant Lines:**
6. Functional **Disconnect Switch / Wiring (exterior):**
A shut off switch was in place.
7. Comment **Evaporator Coil (interior):**
The A/C evaporator coil and drain pan are typically positioned within the furnace duct work/plenum area and are not visible for inspection. The A-coil chills the air when in operation.
8. Functional **Visible Duct Work:**

Plumbing

The inspection of the dwelling's plumbing includes a visual inspection of the accessible and visible water piping, drain/waste piping, vent piping, faucets, fixtures, drain traps, and fittings. The inspection does not attempt to determine the condition of underground piping within municipal water & municipal sewer services or the underground components within an on site septic system or community water and lagoon system. Much of the water and drain piping and connections within a dwelling are enclosed within ceilings, walls, and the floor structure and are not visible for inspection. Corrosion and/or lime buildup on water and drain piping may indicate past and or potential leakage at these areas. Cleaning/wire brushing the affected area may reveal leakage sealed by the built up material in place. Basement floor drains are not inspected for proper drainage. Recommend run water into basement floor drains to insure they are open/clear/drainage properly. The dwelling's main water line shut off valve is not operated due to the potential for post inspection leakage. It is recommended that the main shut off valve be operated/inspected annually to insure it is fully operational in case of an emergency. When this valve is operated, be prepared to make repairs if leakage develops. Recommend the city's exterior water line shut off valve and the dwelling's primary interior waste clean out position be located/identified in case of an emergency water shut off or sewer clean out need.

Vacant dwellings are susceptible to developing water pipe, drain pipe, and fixture leakage from dried and cracked seals/gaskets/caulking due to lack of use.

The gas shut off valve servicing any gas water heater is located at the gas line within 6 ft. of the water heater unless otherwise noted within this report and also at the exterior gas meter if natural gas service is in place.

The typical life expectancy of a conventional water heater is 10-15 years but will vary substantially with water quality, water heater quality, and conditions. The water heater can be operational today and fail tomorrow without warning and therefor should be monitored for signs of leakage.

Recommend plumbing system problems and or other concerns be inspected by a licensed plumbing contractor for further analysis and estimates of repair.

Basement Furnace Room Water Heater

1. **Manufacturer:** Rheemglas

2. **Approximate Age:** 8 Year

3. **Type:** Natural gas

Capacity:

40 Gal.

4. **Functional Hot Water Heater:**

The hot water temperature tested 120 degrees F. at the kitchen sink with the water heater's temperature control set on a medium setting. (120 of is recommended as a safe/conservative temperature for the safety of small children) Recommend monitor/maintain the water temperature.

(Included is a picture of the water heater for reference purposes)



5. **Functional Flue Pipe:** PVC

The water heater's flue pipe was the plastic/PVC type. Combustion gases are power vented out the dwelling's side wall with these high efficiency units.

6. **Comment Temperature / Pressure Relief Valve:**

The temperature/pressure relief valve was not opened/operated to avoid potential post inspection leakage. Recommend test/operate the valve at least once per year to insure the discharge path is clear and be prepared to replace the valve if post inspection leakage occurs. Recommendations are to replace the pressure relief valve every 3 years or a plumber remove and inspect for signs of lime build up and proper operation.

7. **Functional Discharge Pipe:**

8. **Functional Visible Gas Line:**

Plumbing (Continued)

9. Functional

Incoming Service Line:

Copper

Main Water Shutoff:

Basement Furnace room

The main shut off valve is not operated to avoid the potential for post inspection leakage. Recommend operate this valve annually but be prepared to replace/repair the valve if leakage or failure occurs.

(Included is a picture of the main plumbing shut off valves for reference purposes.)



10. Functional

Visible Water Piping:

Copper, Plastic

The visible incoming water line was copper. The visible interior water piping was a combination of copper and plastic piping. Aquapex is the brand name of the flexible plastic water piping used which has a history of proven performance.

11. Functional

Visible Drain/Vent Piping:

PVC

The main waste/drain piping was not fully visible for inspection due to the finished walls and ceilings. Comments and ratings are based on readily visible drain/waste piping.

12. Functional

Water Pressure / Flow

13. Functional

Kitchen Sink:

14. Functional

Bar Sink:

15. Functional

Laundry Tub / Sink:

16. Functional

Exterior Faucet:

The exterior faucets were the freeze less / self draining type. Recommend any hoses and attachments be removed during the late Fall/Winter months to prevent water pipe freezing/damage.

17. Water Source

City

18. Sewage Disposal

City

The water and waste disposal systems are identified as municipal or private based upon readily accessible information. (ex: from the owner, Realtor, and or visual indicators). Recommend formal verification.

Bathrooms

The inspection of the bathrooms includes a visual examination of the readily accessible bathroom fixtures and facilities. Shower catch pans in place below any shower with a ceramic tile floor are not visible and not inspected. Determining whether shower pans & tub/shower surrounds are entirely water tight is beyond the scope of this inspection. Leakage may be discovered when the bathroom facilities are operated for long periods of time and with weight loads in place. The toilet tank lid is not removed to inspect internal components due to stored items in place on the water holding tank. Recommend inspect and maintain the internal components. Recommend any corroded water or drain/trap piping be replaced as a maintenance measure to help prevent future leakage.

It is very important to maintain all grouting and caulking at the bathtub/shower wall areas. Recommend monitor ceramic tile for any worn grout/caulk repair needs.

Bathroom vent fans and discharge lines are typically covered by attic insulation and not visible for inspection. Recommend research the final discharge location to insure bathroom fans are vented to the exterior to help prevent attic moisture problems.

1st floor hallway Bathroom

1. Functional
2. Functional
3. Functional
4. Functional
5. Functional
6. Marginal

Sink:

Bathtub:

Toilet:

Vent Fan:

Shower:

Caulking / Grouting:

Recommend maintenance caulk/seal the bathroom floor to tub/shower junction for added water protection.

Master Bathroom

7. Functional
8. Functional
9. Priority Item, Defective

Sink:

Bathtub:

Toilet:

The toilet did not flush properly as if plugged/blocked and rated defective. Recommend a plumber inspect and make adjustments to provide a fully operational toilet.

(See the included picture of the non operational toilet within the master bathroom)



10. Functional
11. Functional
12. Functional

Vent Fan:

Shower:

Caulking / Grouting:

Basement Bathroom

13. Functional
14. Functional

Sink:

Bathtub:

The bathtub's mechanical drain stopper was not working properly. Suggest adjustment/repair/replacement. The use of a rubber stopper or pad may be an option.

15. Functional
16. Functional
17. Functional
18. Functional

Toilet:

Vent Fan:

Shower:

Caulking / Grouting:

Interior

Interior surface ratings are not based on cosmetic or aesthetic approvals. Cosmetic wall and ceiling cracks, tape imperfections, mars etc. are not typically noted within the report. Some cosmetic defects may be noted to make a general maintenance recommendation but it is not the intent to report minor/cosmetic conditions. Ceiling and wall stains may be visible at one time but not another due to daylight conditions, shadows, and the point of view. A stain may be discovered upon taking possession with various views from various angles during the course of the day. If a stain is discovered, recommend inspect for any dampness and monitor for any signs of active leakage.

Floor covering damage or stains may be hidden by furniture, throw rugs, and stored items and revealed when these items are removed. Recommend inspect when clear of stored items and furniture. Normal floor covering wear is not considered a deficiency and not typically reported. Damage sub flooring and underlayment can be revealed when floor coverings are replaced and should be upgraded prior to the installation of new floor coverings. The wall condition behind ceramic tile is not visible for inspection. Loose ceramic tile and worn grouting can allow water to penetrate and damage walls and floors. Recommend repair any hidden wall and floor damage. Mold/mildew/fungi may be discovered when floor coverings, ceramic tile, sheetrock/plaster and or stored items are removed. If mold, mildew, fungi is discovered, recommend a trained professional in this field inspect and advise. Detecting odors or determining the source of odors is not within the scope of this inspection.

Reasonably accessible windows are inspected. Windows blocked by furniture or stored items and decorations are not opened/inspected. Screens are not removed to inspect the window. The window's exterior surface is not visible for inspection from the interior and windows are not rated for ease of operation. Determining if thermopane/ insulated glass window seals are breached/fogged is not always possible due to continually changing conditions affected by exterior temperatures, weather conditions, lighting conditions, and dirty windows etc. and are therefor not formally inspected. Storm windows and screens are not operated/inspected or noted if all are on hand.

Recommend locate the clothes dryer's exterior vent position and insure it is open/clear and properly vented to the exterior. Smoke detectors are not operated. Recommend test all smoke detectors upon taking possession to insure they are operational and replace the batteries annually for safety. Recommend test smoke alarms monthly to insure proper operation.

- 1. Functional Overall the walls and ceilings appeared to be in good condition. Some typical cosmetic touch up may be needed.
- 2. Functional **Walls:** Sheetrock
- 3. Functional **Ceilings:** Sheetrock
- 4. Functional **Floors (Coverings):** Carpet, Vinyl, Tile
- 5. Functional **Interior Doors:**
- 6. Functional **Interior Windows (Primary):**

Double Hung

Most of the windows showed some frame wear/discoloration. Recommend maintenance refinish for weather protection. The windows had thermopane glass in place for added energy efficiency.

(See the included picture of the window frame wear/discoloration)



- 7. Functional **Trim / Misc.**
- 8. Functional **Stairways / Steps:**
- 9. Functional **Railings:**
- 10. Functional **Smoke Detectors:**

Recommend maintenance replace the batteries and test all smoke detectors upon taking possession for added protection.

Appliances

Refrigerators, washing machines, clothes dryers, portable dishwashers, freezers, built-in ice makers, water softeners, water filters, reverse osmosis water systems, and humidifiers are not inspected. The adequacy of dishwasher cleaning and the condition of the dishwasher's dish racks are not inspected. The range/oven's self or continuous cleaning operation, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested as they are beyond the scope of the inspection. Microwaves are not inspected for radiation leakage. Appliances are not moved to inspect below or behind the appliance.

Kitchen

1. Functional **Kitchen Stove:** Electric
 The stove's oven, broiler, and stove top heating units responded to the main heating controls when set on the high setting.
2. Functional **Vent Fan:** Re-Circulating Fan
 The vent fan was the re-circulating type which vents through a filter into the kitchen area versus to the exterior which is a common installation. Recommend maintenance wash/replace the filter as needed.
3. Functional **Dishwasher:**
 The dishwasher was run through a normal cycle and appeared to be functional at the time of the inspection.
4. Priority Item, Defective **Disposal:**
 Casing rust & leakage was noted at the garbage disposal at the time of the inspection and rated defective. Recommend replace the garbage disposal to provide an operational unit and to prevent water damage to the kitchen cabinet.
 (See the included picture of the defective garbage disposal)



5. Functional **Microwave (Built In):**
 The microwave was operated in the basic heating mode for approximately 60 seconds and the water was heated at this setting.
6. Functional **Trash Compactor:**
7. Functional **Kitchen Cabinets:**
 The kitchen cabinets were in good condition.
8. Functional **Kitchen Counters:**
9. Comment **Radon Testing:**
 The radon test results are attached under separate cover.

Report Disclaimer

This report is a summary of the more detailed visual inspection completed at the inspection site. Since this report has been transcribed by the office staff, it is possible for clerical error to occur. If this written report does not coincide with on-site or other information/communications, please notify us.

This inspection/report is based on a careful visual inspection of the readily accessible and visible areas of the property inspected. There are areas of the dwelling which are obstructed and or inaccessible for inspection. In many cases hidden decay, water damage, pest damage, etc. cannot be seen without dismantling or removal of surface materials and or through destructive probing but maybe revealed by future renovation or remodeling projects. Additional expenses may be incurred in bringing the property up to current code with major repair and remodeling projects. Recommend estimates on any planned major repair or remodeling project be obtained from qualified contractors.

Due to the difficulty in detecting faded, hidden, or concealed water penetration/stains/etc., recommend ask the owner if there has been any history of water penetration within the dwelling's foundation walls and floors and if there has been any roof, ceiling, and or water leakage/staining. Hidden and non-readily visible deficiencies can result in unplanned repair expenses.

Recommend a thorough inspection for wood destroying insects be completed by professional pest-control company.

Recommend a final walk-through inspection prior to closing. Suggests inspect the dwelling's wall and floor coverings after the removal of furniture and store articles. Recommend operate the remaining major appliances, furnace, and air-conditioning system to help insure these units are fully operational (Operation of that A/C with an exterior environmental temperature below 55°F is not recommended as it may damage the compressor).

The home inspection is a limited ordinary visual observation/examination of the physical structure and systems of the property subject to the conditions, exclusions, and limitations as set out within the signed Order Form, the Inspection Report, and the Message to the Buyer. The inspection is not intended to be an insurance policy, warranty, or guarantee. Where questions or concerns are raised as to signs of possible problems, repairs, or undetermined conditions within the report or from other sources, we suggest the use of a professional specializing in that specific area of expertise for further analysis of these areas. General report recommendations/suggestions should not be considered the only explanation or alternative nor eliminate the need for further technical analysis. This inspection report will not include every deficiency within the dwelling. Some deficiencies may not be viewed/visible/or identifiable the day of the inspection. Minor and cosmetic defects may be listed in the report for maintenance purposes but it is not the intent, nor will the Inspection report identify and list all minor and cosmetic defects. The inspection is intended to help reduce the risks in purchasing a home, it does not eliminate all risks. We recommend you use the information from this inspection report, from the seller, from the seller's disclosure, from the Realtors, from other specialists and professionals, and from your own personal observations to aid you in your home purchase decision. Payment for the home inspection report acknowledges you received the report and your agreement to the terms within the enclosed order form/agreement.